

BENSALEM TOWNSHIP

Building and Planning Department
2400 Byberry Road • Bensalem PA 19020
215-633-3644 • FAX 215-633-3653

Exhibit Z-4

Zoning Hearing Board

Appeal Number: _____

Township of Bensalem, Bucks County, Pennsylvania Notice of Appeal

Appeal is hereby made by the undersigned from the action of the Zoning Officer.

Check applicable item(s):

- ☐ Certification of Non-Conforming Use
- ☐ Application for Validity Challenge
- ☐ Administrative Officer in refusing my application for a building permit dated: _____
- ☐ Special Exception
- ☒ Variance from the terms of the Zoning Ordinance of the Township of Bensalem

Appellant Name: RICHARD DUNN

Address: 1420 WOODBINE AVENUE
BENSALEM, PA 19020-4148

Phone No. _____

Owner's Name: SAME

Address: _____

Phone No. _____

Attorney Name: _____

Address: _____

Phone No. _____

Interest of appellant, if not owners (agent, lessee, etc.): _____

1. Application relates to the following:

Check items if applicable:

- | | |
|--|---|
| <input type="checkbox"/> Use | <input type="checkbox"/> Lot Area |
| <input type="checkbox"/> Height | <input type="checkbox"/> Yards |
| <input type="checkbox"/> Existing Building | <input checked="" type="checkbox"/> Proposed Building |
| <input type="checkbox"/> Occupancy | |
| <input type="checkbox"/> Other: (describe) _____ | |

2. Brief description of Real Estate affected:

Tax Parcel Number: 02-032-109

Location: _____

Lot Size: 100' x 421.85' x 101.59' x 410.96'

Present Use: SINGLE FAMILY

Proposed Use: SINGLE FAMILY

Present Zoning Classification: R-2

Present Improvement upon Land: HOUSE - Stone Driveway - PORTABLE COR CORNERS

Deed recorded at Doylestown in Deed Book 2523 Page 1193

3. If this is an appeal to challenge, provide statement and/or basis for challenge to the validity of the zoning ordinance.

4. If this is an Appeal from action of the Zoning Administrative Officer then complete the following:

Date Determination was made: _____

Your statement of alleged error of Zoning Administrative Office: _____

5. Specific reference to section of the Zoning Ordinance upon which application for special exception or variance is based (if special or variance is desired):

232-6 ACCESSORY STRUCTURE FOOTPRINT CANNOT EXCEED 25% OF PRINCIPAL STRUCTURE

6. Action desired by appellant or applicant (statement of relief sought or special exception or variance desired):

ALLOW EXEMPTION FROM THIS 25% BECAUSE IT MEANS THE LARGEST ACCESSORY STRUCTURE ALLOWED IS 11'1" X 8' WHICH I COULD NOT FIT ONE OF MY VEHICLES IN.

THE PROPOSED STRUCTURE WOULD FIT ALL 5 OF MY VEHICLES + ALL MY YARD EQUIPMENT

7. Reasons appellant believes board should approve desired action (refer to section or sections of ordinance under which it is felt that desired action may be allowed, and not whether hardship is (or is not) claimed, and the specific hardship).

THE ORDINANCE ONLY ALLOWS 25% OF PRINCIPLE STRUCTURE (44'4" X 32') WHICH EQUALS 22'2" X 16' ALL OTHER GARAGES IN MY AREA EXCEED THIS 25% RULE. SEE ENCLOSED AERIAL PHOTOS. NEED THE PROPOSED STORAGE BUILDING SIZE TO REMOVE PORTABLE TENTS.

8. Has previous appeal or application for special exception or variance been filed in connection with these premises?

☐ YES ☒ NO

Specifications of errors must state separately the appellant's objections to the action of the zoning administrative office with respect to each question of law and fact which is sought to be reviewed.

I, hereby depose and say that all of the above statements and the statements contained in any papers or plans submitted herewith, are true to the best of my knowledge and belief.

Appellant's or Owner's Signature

05-11-2015
Date

Sworn to and subscribed before me this

11TH day of MAY 20 15

Notary Public

My commission expires. OCTOBER 26, 2015

COMMONWEALTH OF PENNSYLVANIA

NOTARIAL SEAL

BRUCE LACHOWICZ, Notary Public

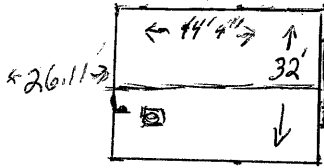
Bensalem Twp., Bucks County

My Commission Expires October 26, 2015

WOODBINE AVENUE

← 100' →

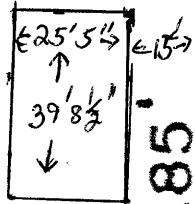
↑
81'
↓



↑
60'
↓

← TO BE REMOVED
WHEN BUILDING IS
ERECTED.

PROPOSED
STRUCTURE →



← PROPOSED
STRUCTURE

410.96'

↑
209.15'
↓

421.85'

← 101.59' →



BENSALEM TOWNSHIP

Building and Planning Department

Office 215-633-3644 • Fax 215-633-3753

Matthew K. Takita

Director of Building and Planning

2400 Byberry Road • Bensalem, PA 19020

April 21, 2015

Richard Dunn
1420 Woodbine Ave
Bensalem, PA 19020

Project:	PREFAB SHED W/PAD
Project Address:	1420 Woodbine Ave Bensalem, PA 19020
Tax Parcel:	02-032-109
Property Owner:	Same as addressed
Permit Status:	Application Denied

Electronic Review Status

Dear Sir/Madam:

A review was conducted on the application for the referenced project pursuant to Chapter 232 ZONING, [Section 232-6 Accessory structure definition]. The attached sheets show what was found during the review and this information is required to complete the permit application for the above referenced project.

The review process utilizes Adobe Acrobat allowing reviewers to make their comments directly on the plan pages. These comments are tracked throughout the review and a printed summary serves as the basis for a rejection on the project until required changes have been made. The attached sheets will show an image of the plan page including its associated comments with connector lines. Only those pages of the plans that require a revision have been generated and included.

You are required to resubmit plans with revisions and will need to burn the **complete** set of plans with revisions to a new disc. Return it to the Building & Planning Department. You are to include a summary list of **all** changes that were made to the plans including those required by the Township. For each change made to the plans, note the sheet number, drawing title, and a brief description of the change made. Please label the disc with the project address, date and revision number to distinguish it from any earlier submissions.

It is our intent that you receive as few rejections as possible and provide reviewers a more efficient method for completing the review by utilizing the comments summary. The print dialog box should include the following summary options:

- Layout - Document and comments with connector lines on single pages
- Font Size - Large font size
- Include - all comments
- Clear - the checkbox to NOT include pages containing no comments

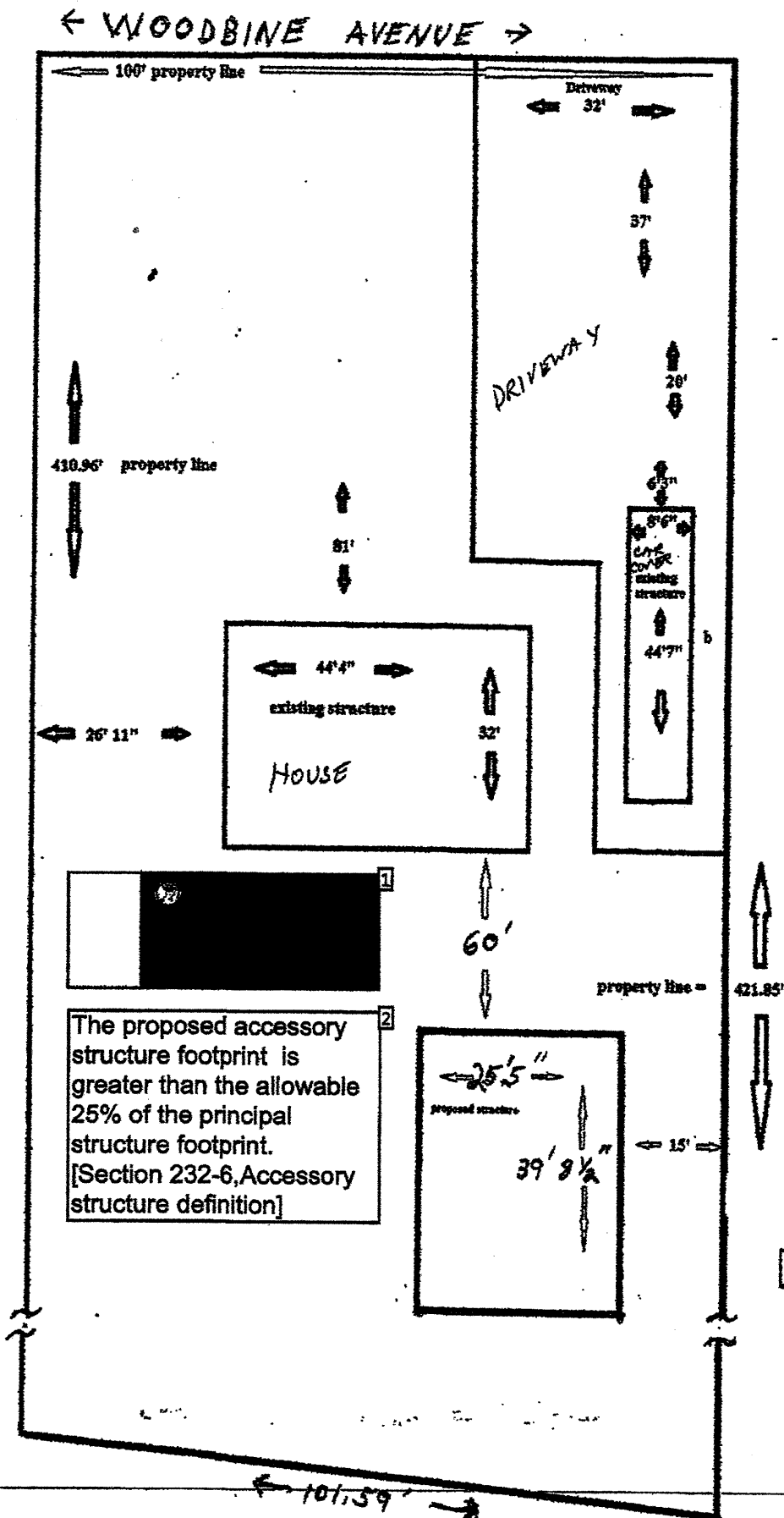
It is possible that upon receipt of the revised plans, additional items for compliance may be required. This letter shall serve as formal notice that your permit application has been rejected for said project until such time as the requested information has been provided.

You have the right to appeal this rejection letter. Applications for the Zoning Hearing Board can be obtained from the Building and Planning Department located in the Municipal Building at 2400 Byberry Road, Bensalem.

Respectfully,

Harold W. Gans, P.E., P.L.S.
Township Engineer

HWG/iva
Enclosures



The proposed accessory structure footprint is greater than the allowable 25% of the principal structure footprint. [Section 232-6, Accessory structure definition]


RECEIVED

APR 14 2015

BENSALEM TOWNSHIP
BUILDING AND PLANNING

Summary of Comments on Plot plan.pdf

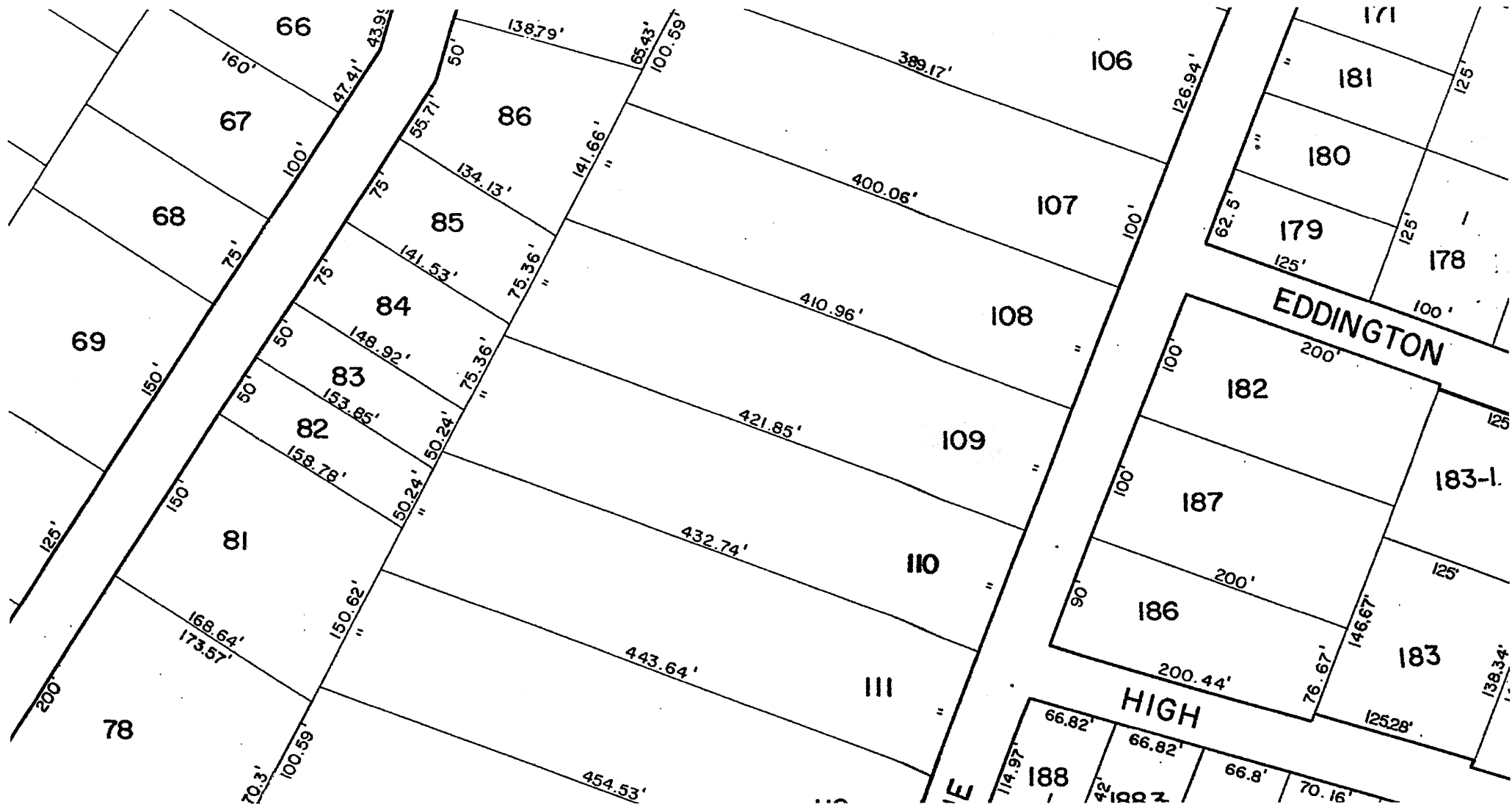
Page: 1

 Number: 1 Author: rgans Subject: ZONING REJECTION Date: 4/21/2015 11:32:44 AM

 Number: 2 Author: rgans Subject: Text Box Date: 4/21/2015 11:37:56 AM

The proposed accessory structure footprint is greater than the allowable 25% of the principal structure footprint.
[Section 232-6, Accessory structure definition]

2-32-109
1420 Woodbine Ave



Luigi and Gabriele Carafa

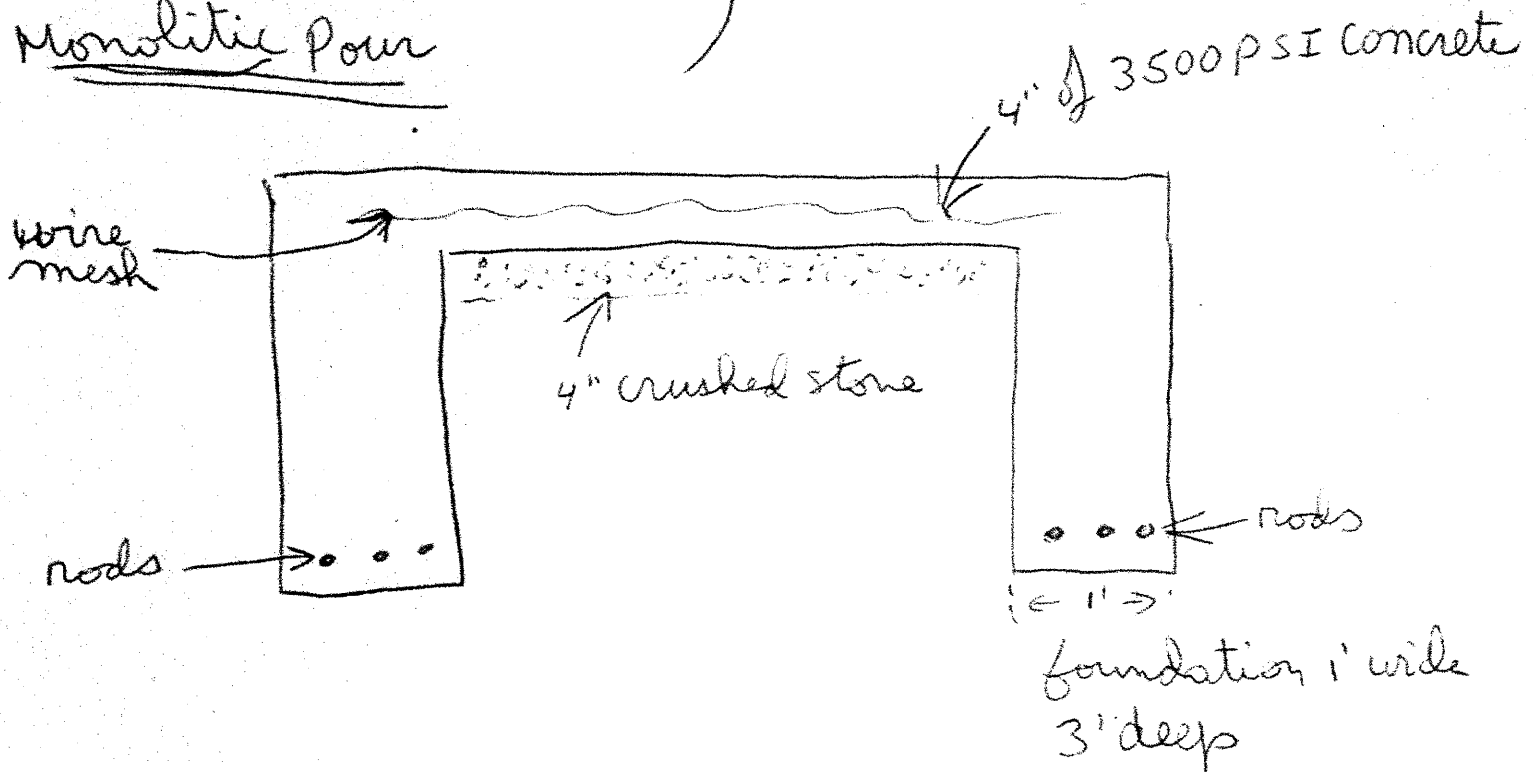
CONTRACTORS
(215) 338-1194

Date: 4-3-15 (267) 784-2079 cell

GENERAL CONCRETE WORK

Cement Work • Sidewalks • Patios • Steps • Curbs • Brick Work • Stone Work
Stone Pointings • Stucco • Basement Walls • Garage Walls • Waterproofing • Glass Blocks

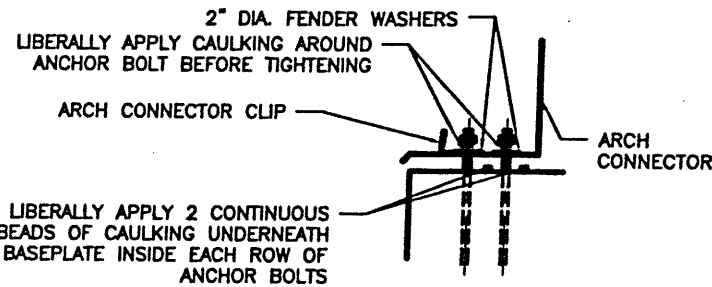
(concrete floor + foundation to be
Monolithic Pour)



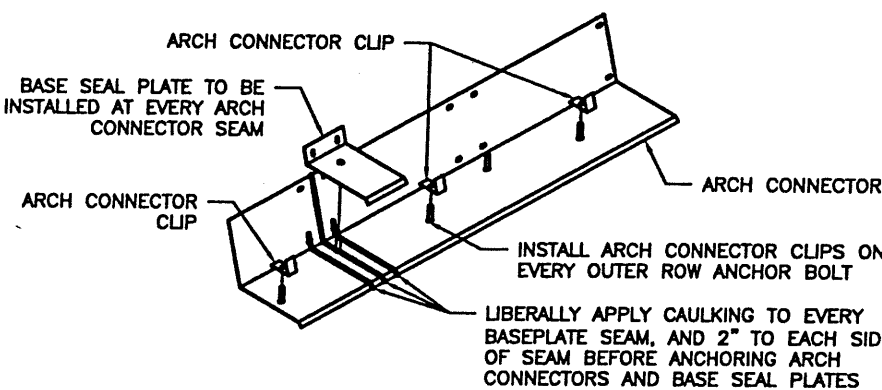
Dirt from foundation to be leveled
on property

MODEL: A25-14
CUST. NAME: DUNN
ORDER NUMBER: 85395

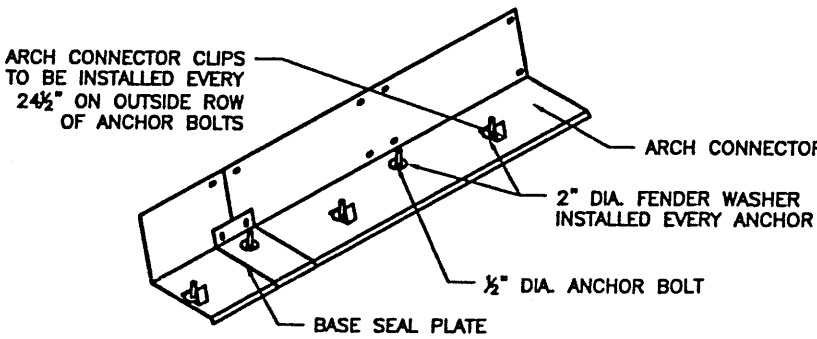
SEE SHEET 5 FOR ARCH CONNECTOR
BASEPLATE LAYOUT



CAULKING UNDER ARCH CONNECTORS
AND ANCHOR BOLT HOLES



INSTALLING BASE SEAL PLATES AND
ARCH CONNECTOR CLIPS

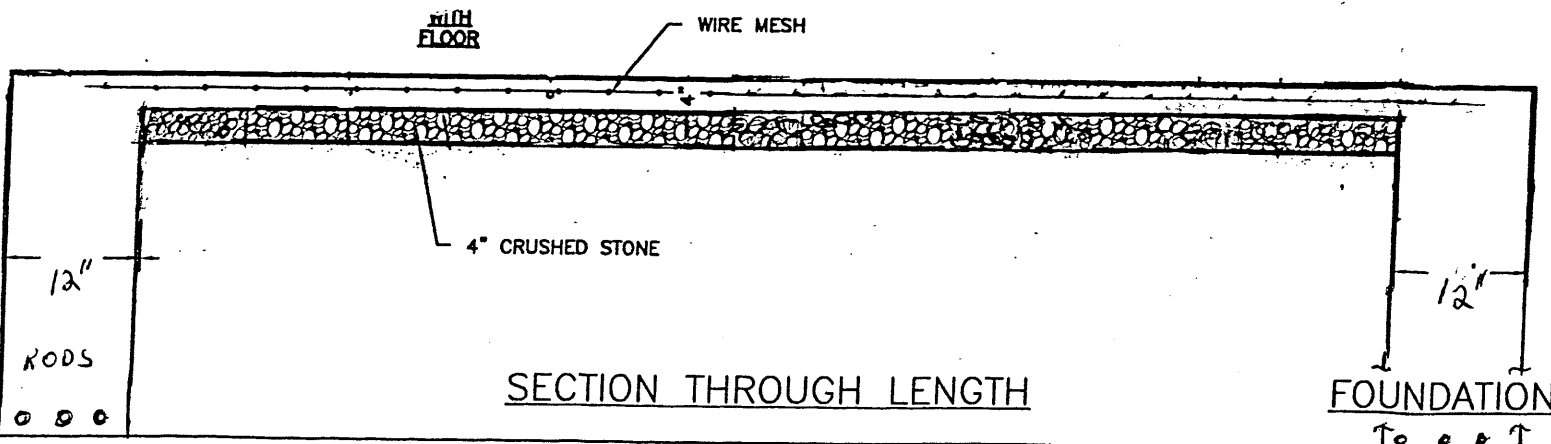
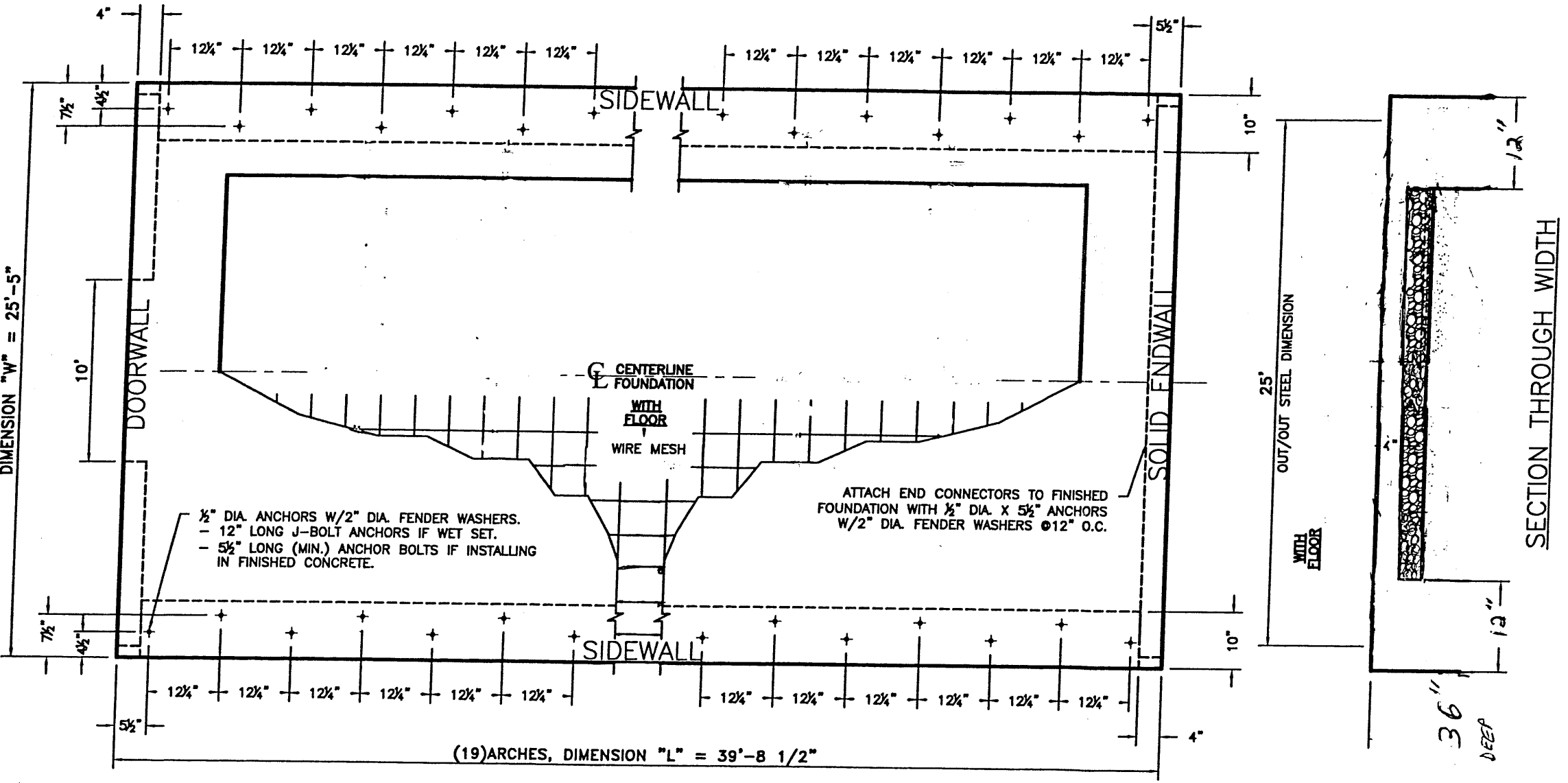


COMMERCIAL ARCH CONNECTOR
ASSEMBLED AND READY FOR ARCHES

COMMERCIAL BASE CONNECTOR
GENERAL ARRANGEMENT

ONE ENDWALL SOLID & ONE ENDWALL
WITH AN OPENING OR OVERHEAD DOOR

SCALE: NTS

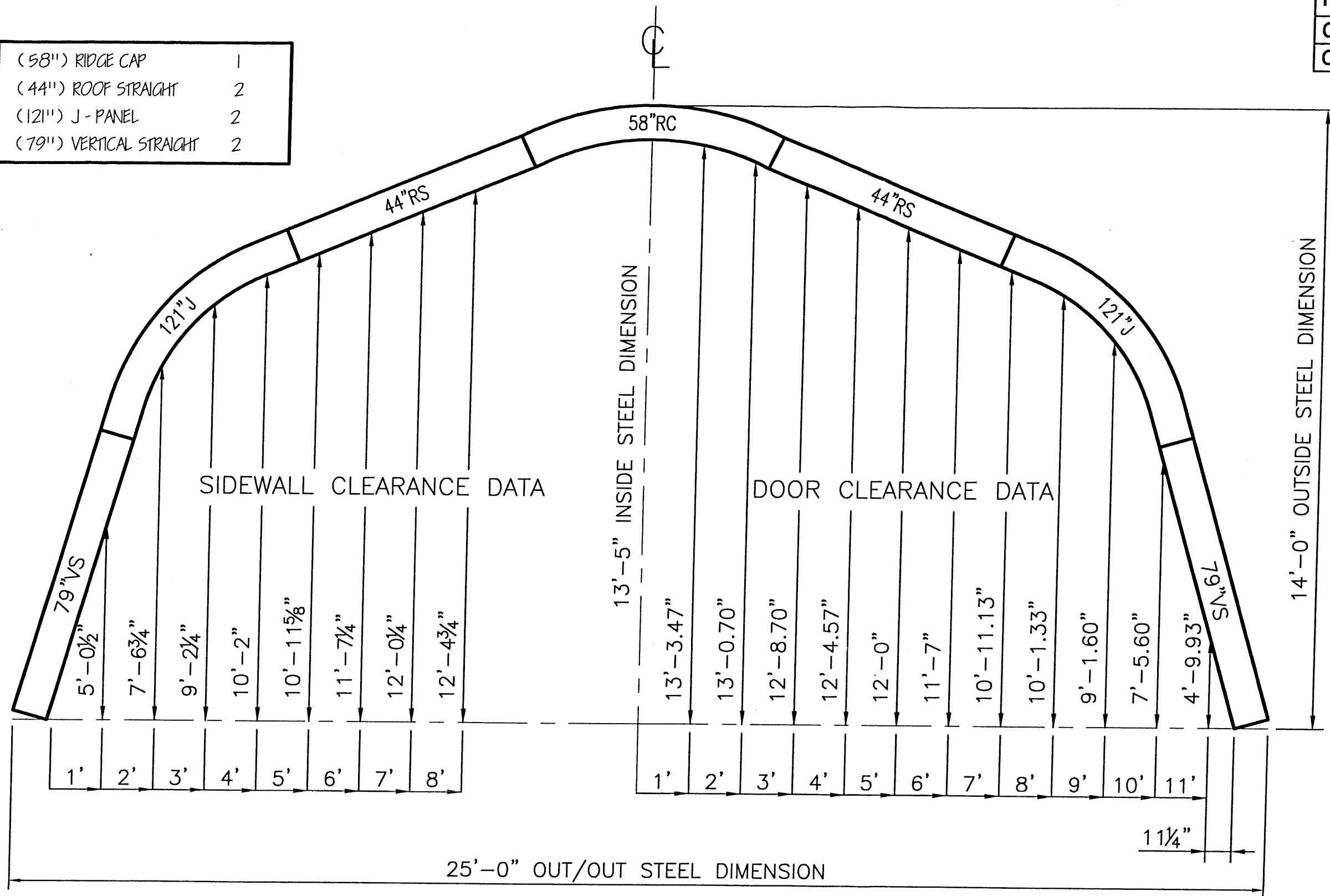


SECTION THROUGH LENGTH

FOUNDATION - 3500 PSI STRENGTH

(58") RIDGE CAP	1
(44") ROOF STRAIGHT	2
(121") J-PANEL	2
(79") VERTICAL STRAIGHT	2

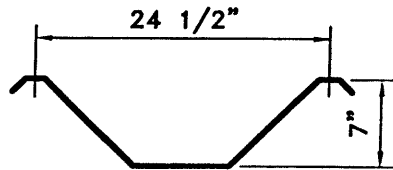
MODEL:	A25-14
CUST. NAME:	DUNN
ORDER NUMBER:	85395



GENERAL NOTES:

1. NO LOADS OTHER THAN THOSE GIVEN UNDER "DESIGN DATA" BELOW BE IMPOSED ON THE "STRUCTURE"
2. THE FOUNDATION ON THE DRAWING IS A SUGGESTED SOLUTION ONLY. CHANGES MAY BE NECESSARY DUE TO LOCAL BUILDING REGULATIONS.
3. THE FOUNDATION SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING 2000 PSF. AND AT LEAST 12 IN. BELOW FINISHED GRADE.
4. SLAB ON GRADE SHALL BE PLACED ON SOIL CAPABLE OF SUSTAINING 500 PSF. WITHOUT APPROPRIATE SETTLEMENT.
5. BUILDING MUST BE GROUTED INTO TROUGH, INSIDE AND OUT TO MAINTAIN STRUCTURAL INTERGRITY EXCEPT WHEN USING WELDED BASE PLATE CONNECTORS.
6. CROSS TIES MUST BE INCASED IN CONCRETE WHEN CONCRETE SLAB IS NOT USED

ARCH DATA:



DESIGN DATA:

STEEL GAGE: 23
 50 KSI MIN. YIELD
 GALVALUME SHEET STEEL
 LIVE LOAD: 33 PSF
 3-SECOND WIND SPEED: 140 MPH

MATERIALS:

1. CONCRETE STRENGTH AT 28 DAYS TO BE 2500 PSI
2. REINFORCING STEEL TO BE DEFORMED BARS. GRADE 60
3. ALL MATERIALS SHALL CONFORM TO THE APPROPRIATE ASTM SPECIFICATIONS.

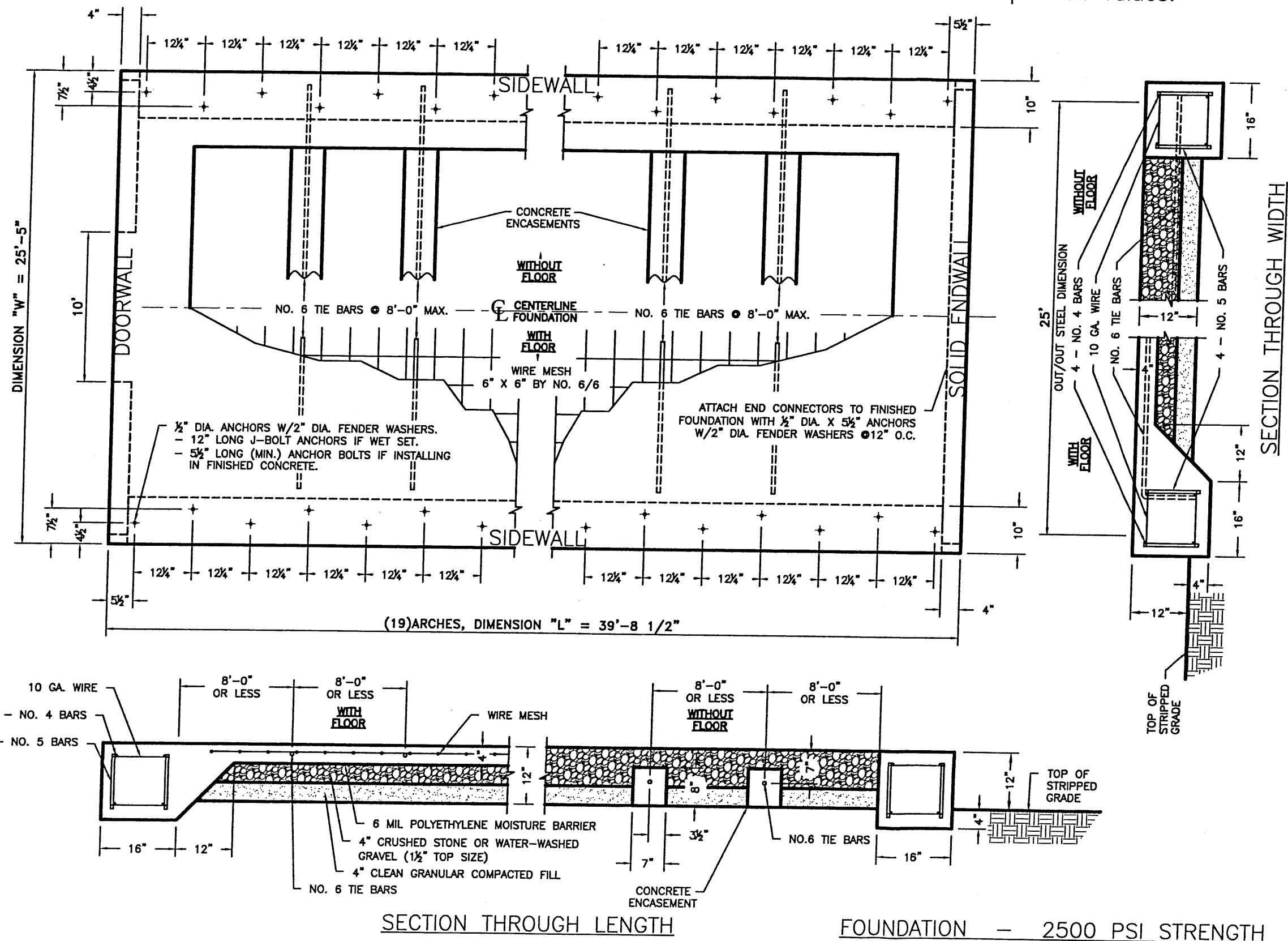
ARCH PROFILE

ONE ENDWALL SOLID & ONE ENDWALL WITH AN OPENING OR OVERHEAD DOOR

SCALE: NTS SHEET: 1 OF 7

ATTENTION:

The foundation shown may not conform to your local by-laws and has no warranty as to its sufficiency for your particular area and or application. Retain a registered professional engineer to design a foundation which meets local by-laws and frost level depth requirements (if applicable), is adequate for soil conditions on the site, and conforms to the intended use of the building. The engineer should also be retained to inspect construction to ensure that the foundation is being built in conformity with his design. If the design engineer requires, retain a soils engineering specialist to report on soil conditions and soil compaction values.

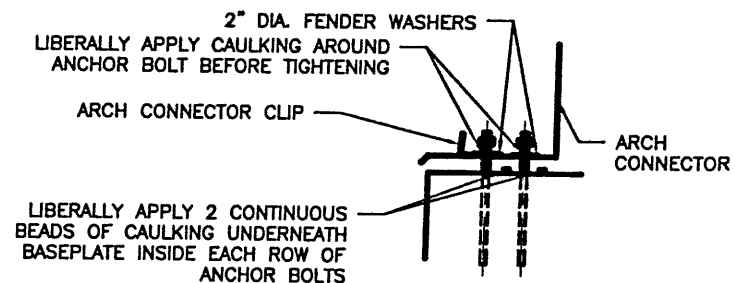


MODEL: A25-14

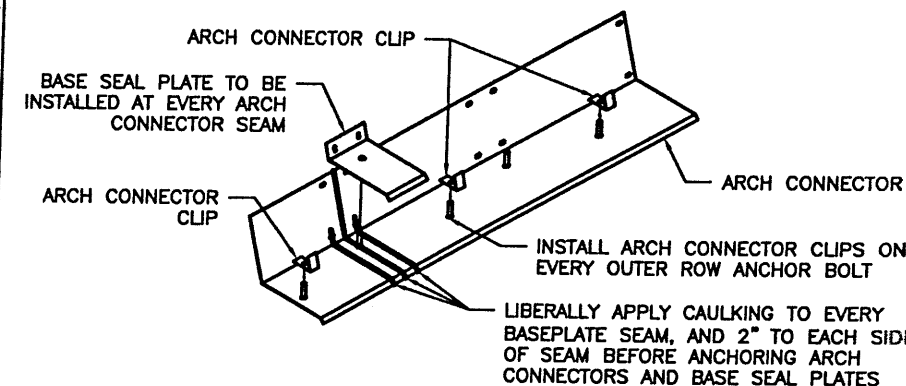
CUST. NAME: DUNN

ORDER NUMBER: 85395

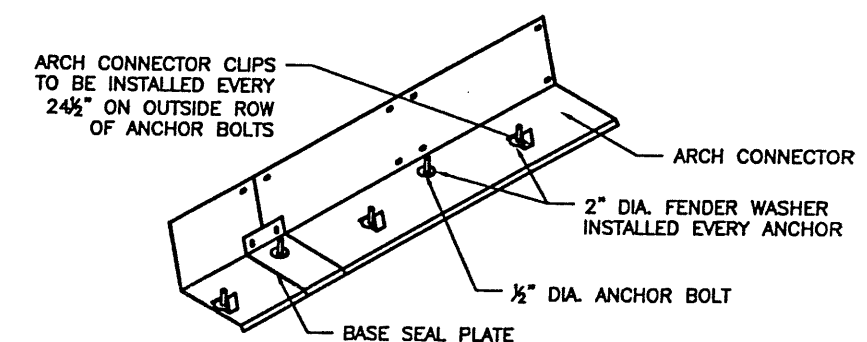
SEE SHEET 5 FOR ARCH CONNECTOR BASEPLATE LAYOUT



CAULKING UNDER ARCH CONNECTORS AND ANCHOR BOLT HOLES



INSTALLING BASE SEAL PLATES AND ARCH CONNECTOR CLIPS



COMMERCIAL ARCH CONNECTOR ASSEMBLED AND READY FOR ARCHES

COMMERCIAL BASE CONNECTOR GENERAL ARRANGEMENT

ONE ENDWALL SOLID & ONE ENDWALL WITH AN OPENING OR OVERHEAD DOOR

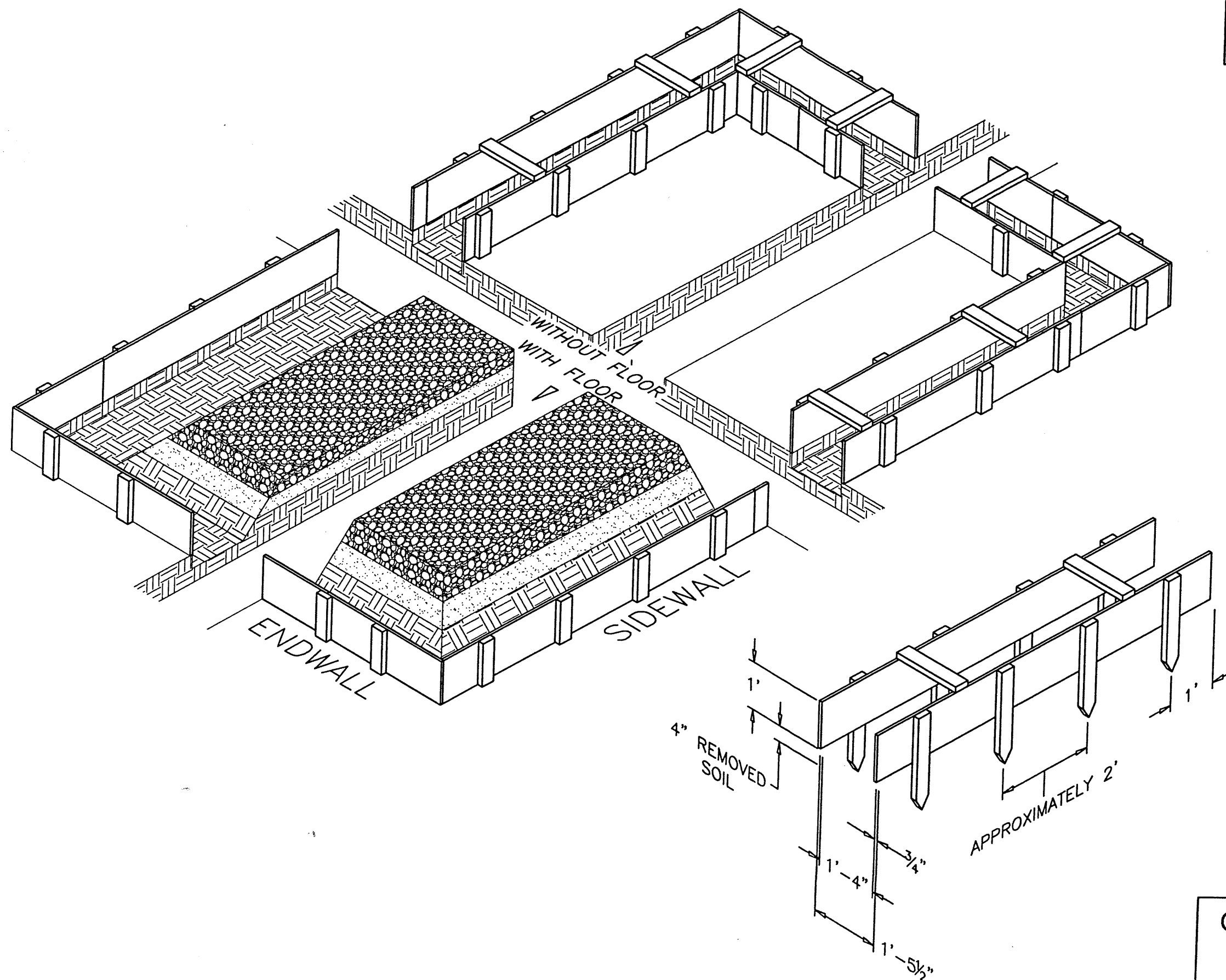
SCALE: NTS

SHEET 2 OF 7

MODEL: A25-14

CUST. NAME: DUNN

ORDER NUMBER: 85395



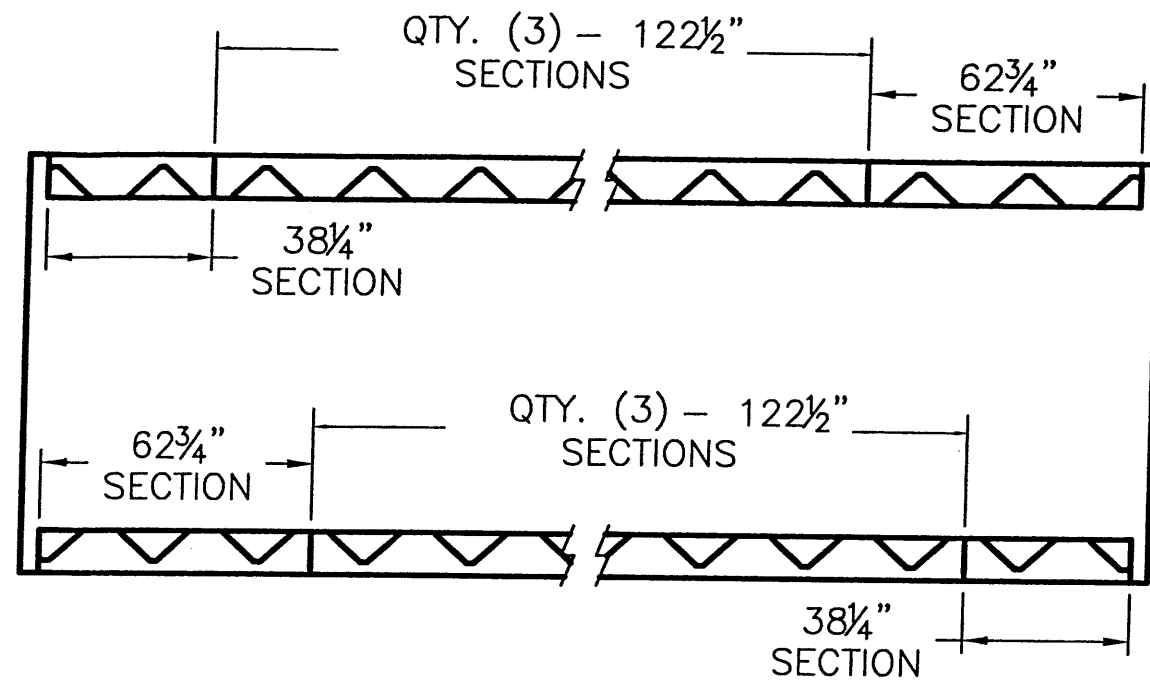
COMMERCIAL BASE CONNECTOR
WOODEN FORM ARRANGEMENT

ONE ENDWALL SOLID & ONE ENDWALL
WITH AN OPENING OR OVERHEAD DOOR

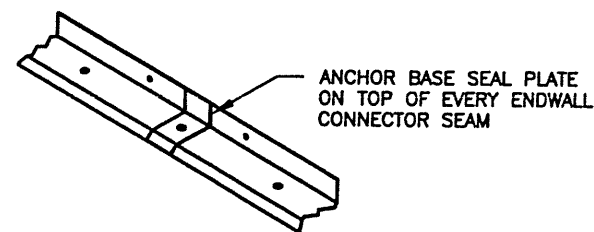
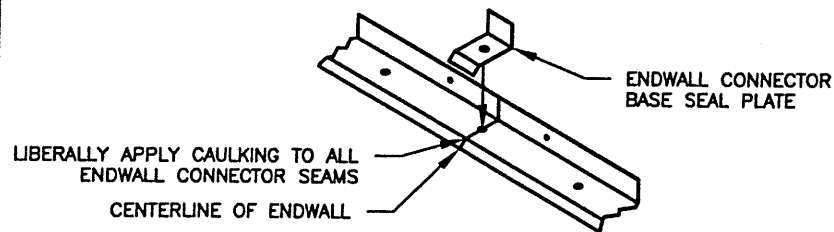
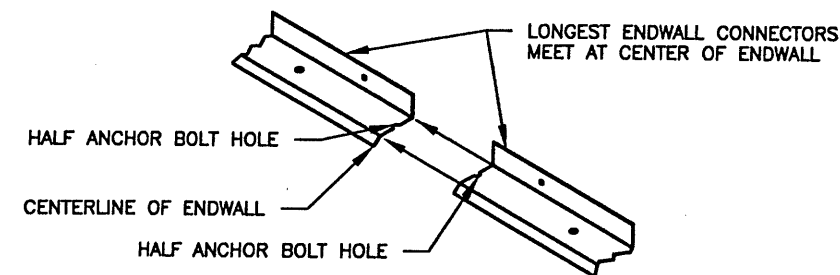
SCALE: NTS

SHEET: 3 OF 7

NOTES: REINFORCING STEEL NOT
SHOWN. REFER TO SHEET #4.



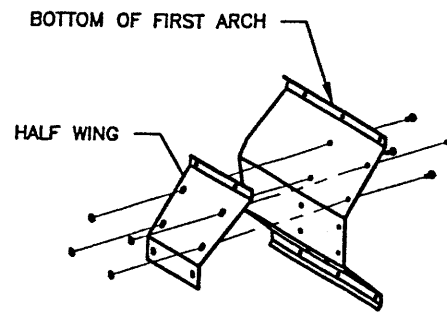
ARCH CONNECTOR BASEPLATE LAYOUT



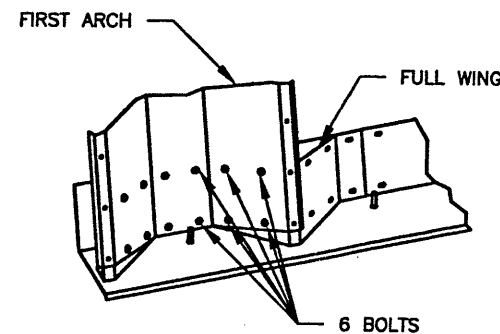
INSTALLING SOLID ENDWALL CONNECTORS NOTES:

1. USE ½" DIA. ANCHOR BOLTS X 5½" (OR LONGER) AND 2" DIA. FENDER WASHERS FOR EVERY ENDWALL CONNECTOR ANCHOR BOLT HOLE.
2. CAULKING SHOULD BE APPLIED LIBERALLY UNDER THE ENDWALL CONNECTOR, AROUND EVERY ANCHOR HOLE, AND AT THE ENDWALL CONNECTOR SEAMS UNDER ANY BASE SEAL PLATES.
3. FOR SOLID ENDWALLS, THE COMMERCIAL ENDWALL CONNECTORS SHOULD BE INSTALLED STARTING FROM THE CENTER OF THE ENDWALL. THE LONGEST ENDWALL CONNECTOR SECTIONS WILL MEET AT THE CENTER WITH THE HALF ANCHOR BOLT HOLES MEETING AS SHOWN ABOVE. REMAINING ENDWALL CONNECTOR SECTIONS SHOULD BE ANCHORED SO THAT THE ANCHOR BOLT PATTERN CONTINUES EVERY 12" FOR THE ENTIRE LENGTH OF ENDWALL.

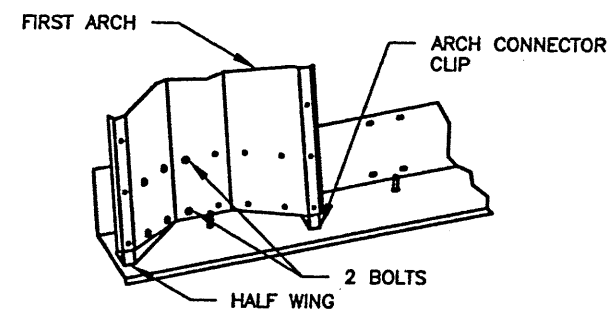
SOLID ENDWALL CONNECTOR AND BASE SEAL PLATE ASSEMBLY



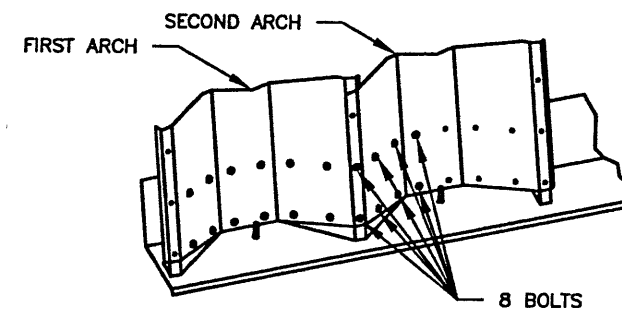
1. ATTACH HALF WING WITH 4 BOLTS TO THE INSIDE BOTTOM OF THE FIRST ARCH



3. INSERT FULL WING BEHIND THE FIRST ARCH AND OUTSIDE OF THE ARCH CONNECTOR CLIP AND ATTACH WITH 6 BOLTS.

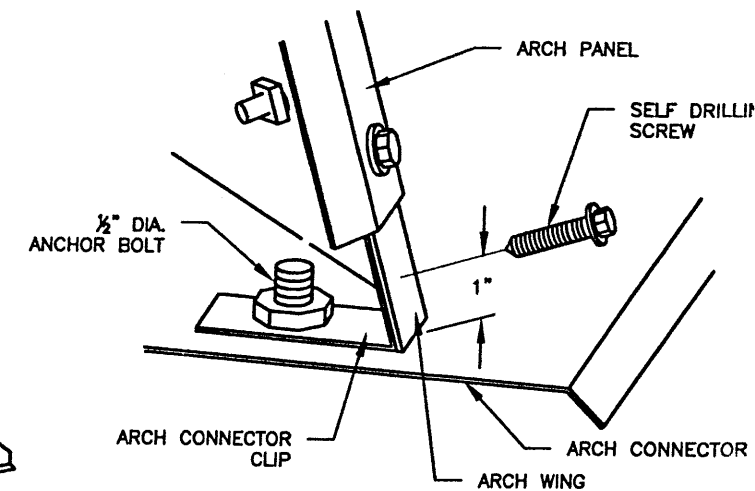


2. STAND THE FIRST ARCH AND ATTACH THE HALF WING AND ARCH ASSEMBLY TO THE ARCH CONNECTOR WITH 2 BOLTS. THE HALF WING SHOULD BE TO THE OUTSIDE OF THE ARCH CONNECTOR CLIP.

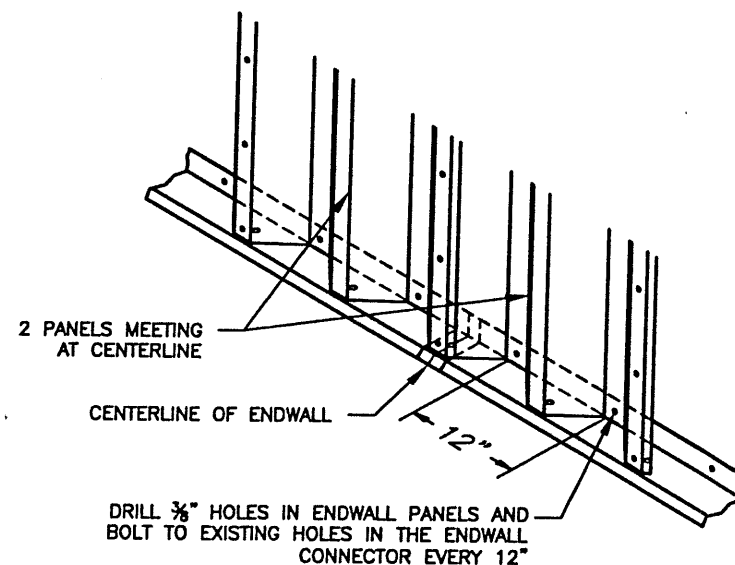


4. STAND THE SECOND ARCH AND ALIGN ON TOP OF FIRST ARCH AND ATTACH WITH 8 BOLTS. REPEAT PROCESS UNTIL THE ENTIRE BUILDING IS ERECTED. AFTER ALL ARCHES ARE ERECTED, SCREW EVERY WING TO AN ARCH CONNECTOR CLIP 1" FROM THE BOTTOM OF THE CLIP AS SHOWN IN THE CLIP WING ASSEMBLY DETAIL.

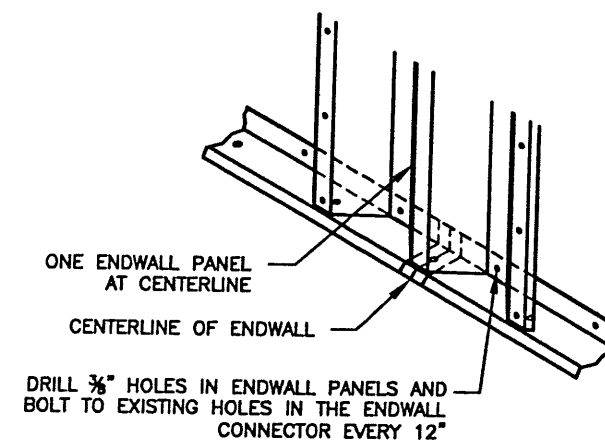
COMMERCIAL ARCH CONNECTOR ASSEMBLY



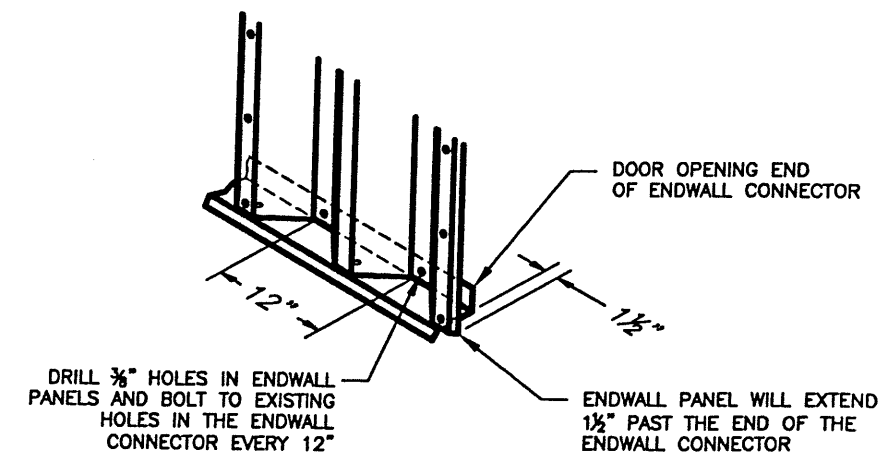
CLIP WING ASSEMBLY DETAIL
CURVED ANGLE NOT SHOWN FOR CLARITY



TWO PANELS AT CENTER OF ENDWALL



ONE PANEL AT CENTER OF ENDWALL



DRILL ½" HOLES IN ENDWALL PANELS AND BOLT TO EXISTING HOLES IN THE ENDWALL CONNECTOR EVERY 12"

OPEN ENDWALL CONNECTOR NOTES:

1. ENDWALLS WITH OPENINGS SHOULD START WITH THE HALF ANCHOR HOLE IN THE ENDWALL CONNECTOR TOWARDS THE DOOR OPENING AS SHOWN ABOVE.
2. THE ANCHOR BOLTS SHOULD CONTINUE AT 12" CENTERS OUTWARD.
3. ATTACH PANELS AT 12" CENTERS TO THE HOLES IN THE ENDWALL CONNECTOR.

OPEN ENDWALL CONNECTOR

COMMERCIAL BASE CONNECTOR
DETAILS

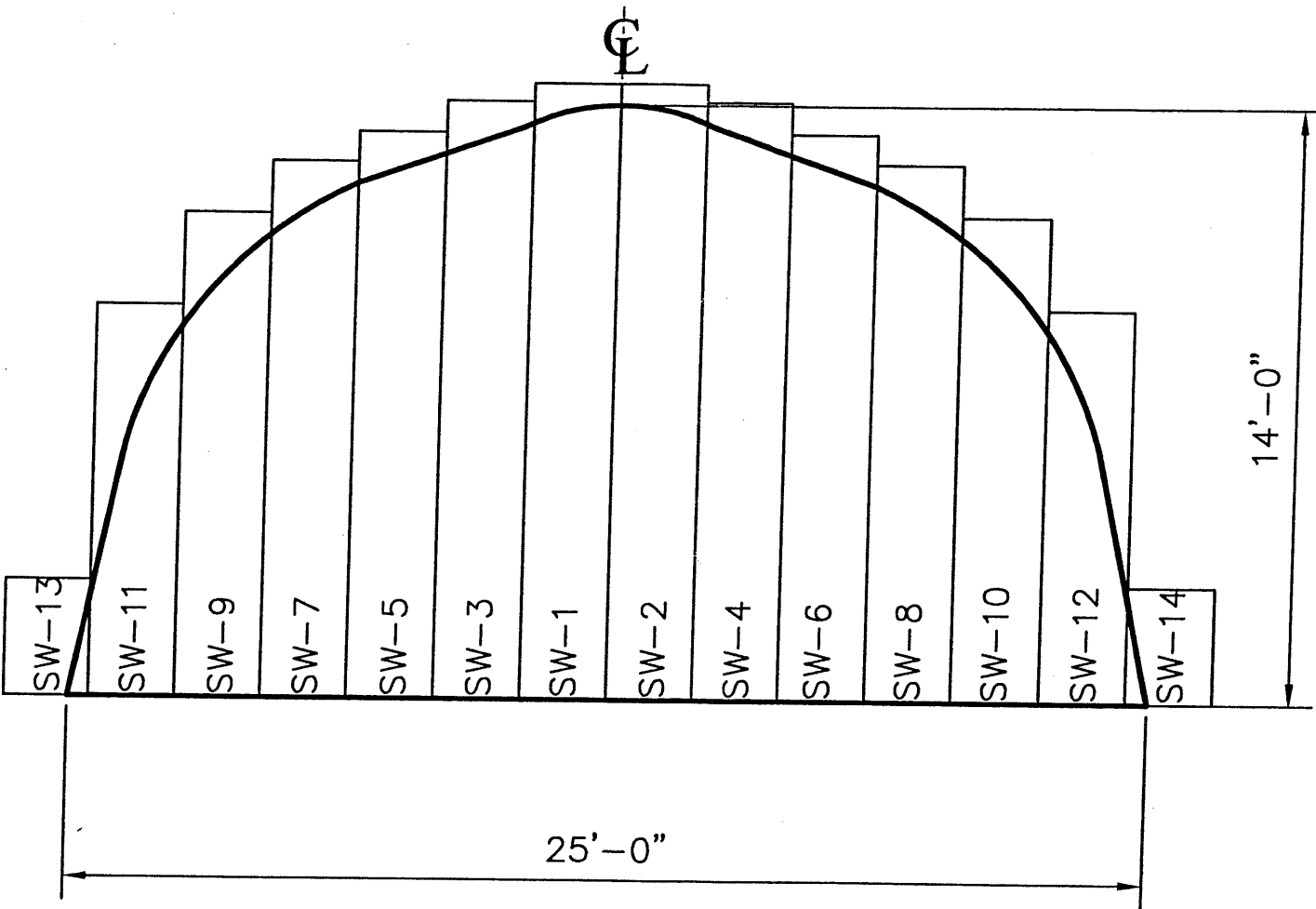
ONE ENDWALL SOLID & ONE ENDWALL WITH AN OPENING OR OVERHEAD DOOR

SCALE: NTS

SHEET: 5 OF 7

MODEL:	A25-14
CUST. NAME:	DUNN
ORDER NUMBER:	85395

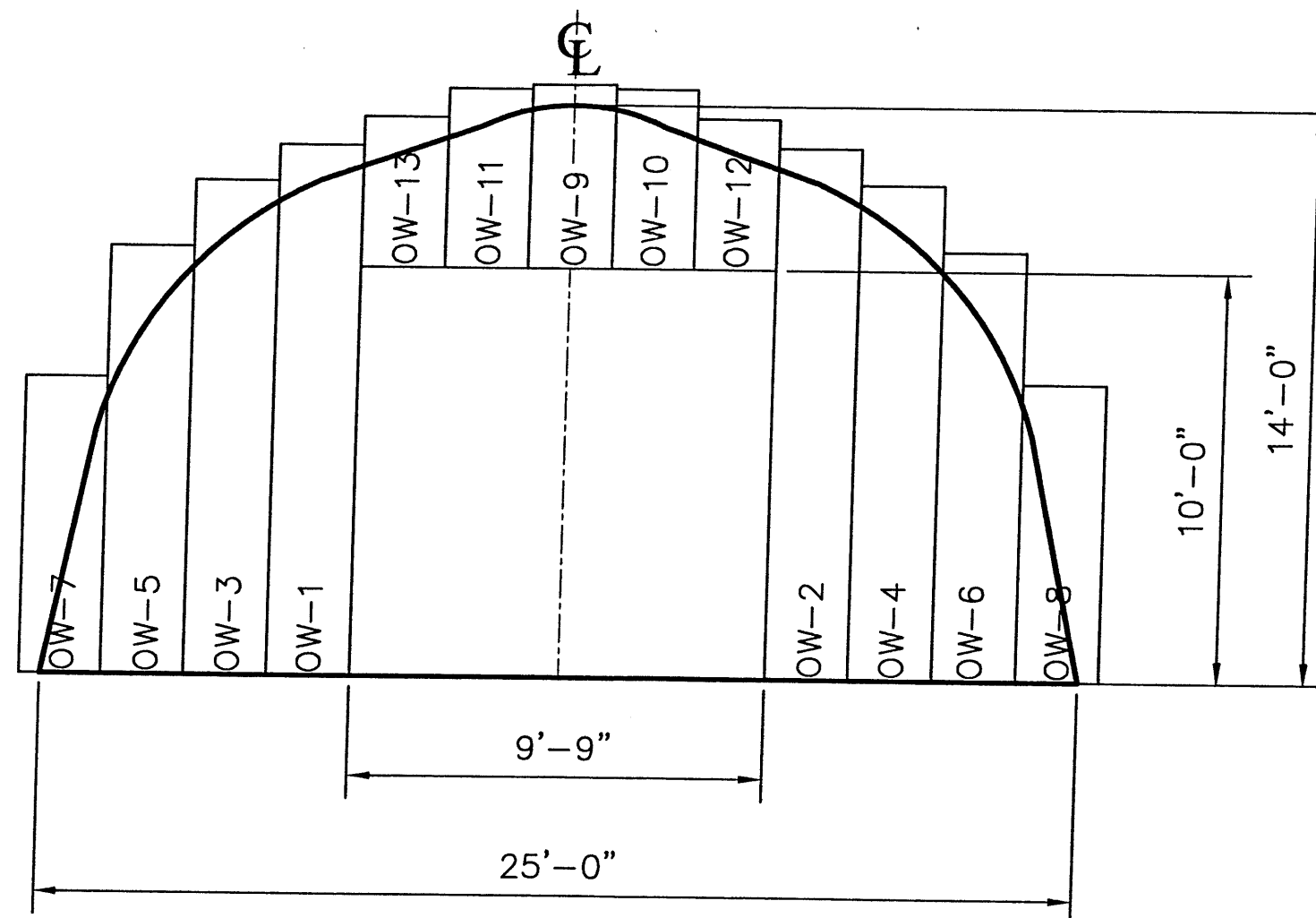
A25-14 SOLID	
PANEL #	LENGTH
SW1-SW2	174
SW3-SW4	169
SW5-SW6	160
SW7-SW8	152
SW9-SW10	137
SW11-SW12	111
SW13-SW14	35



WALL DETAILS	
ONE ENDWALL SOLID & ONE ENDWALL WITH AN OPENING OR OVERHEAD DOOR	
SCALE: NTS	SHEET: 6 OF 7

MODEL: A25-14
CUST. NAME: DUNN
ORDER NUMBER: 85395

A25-14	
10'H X 10'W OPENING	
PANEL #	LENGTH
OW1-OW2	156
OW3-OW4	146
OW5-OW6	126
OW7-OW8	88
ABOVE OPENING PANELS	
OW9	54
OW10-OW11	53
OW12-OW13	45



WALL DETAILS

ONE ENDWALL SOLID & ONE ENDWALL
WITH AN OPENING OR OVERHEAD DOOR

SCALE: NTS SHEET: 7 OF 7

The following pictures show the garages labeled letters A thru H.

A is 1500 Woodbine Avenue

B is 1451 Woodbine Avenue

C is 2628 Eddington Avenue

D is 2656 Eddington Avenue

E is 1459 Woodbine Avenue

F is 1467 Woodbine Avenue

G is 1475 Woodbine Avenue

H is 2625 Marion Avenue

EXHIBIT

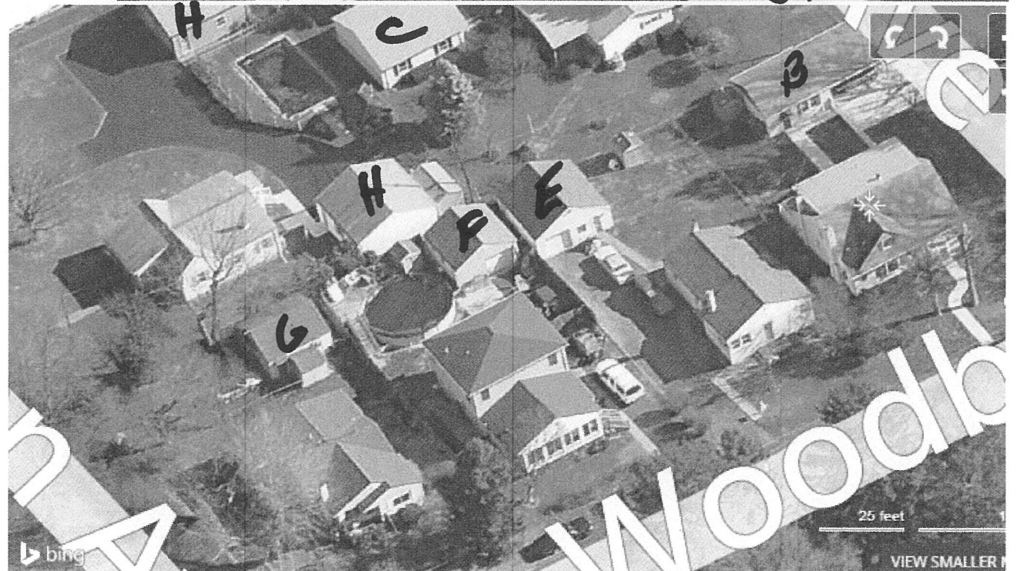
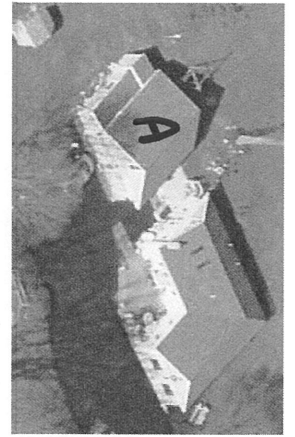
A



EXHIBIT

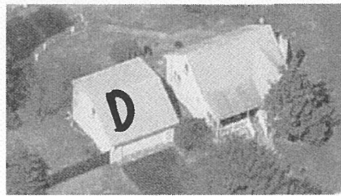
B

D



EXHIBIT

C



EXHIBIT

D

impose greater restrictions than, or prohibitions in addition to, this chapter, such other statute, ordinance or regulation shall be controlling. (Ord. No. 96-05, Art. I(103), 6-3-96)

Sec. 232-5. Short title.

This chapter shall be known as, and may be cited as "The Bensalem Township Zoning Ordinance." (Ord. No. 96-05, Art. I(104), 6-3-96)

Sec. 232-6. Definitions.

(a) Unless otherwise indicated within this chapter, certain words and phrases used in this chapter shall have the following meanings:

Accessory structure. A structure subordinate to the [main] principal structure on a lot and used for purposes customarily incidental to those of the principal structure. In no case shall the accessory structure footprint in a residential district exceed the footprint of the principal structure by more than 25 percent.

Accessory use. A use subordinate to the principal use of the land or of a principal structure on a lot and customarily incidental thereto.

Adjacent property owners. Any owner of property contiguous or abutting the property. Contiguous shall include properties located directly across a public or private street opened or unopened right-of-way or easement.

Adult day care center. A facility whose purpose is to provide daytime care for four or more individuals between the ages of 18 and 54, none of whom are of the same family as the owner or operator of the facility, and whose owner or operator is licensed, as required, by the Pennsylvania Department of Public Welfare and/or any other applicable governmental and/or regulatory agency.

Agriculture. The cultivating of the soil, and the raising and harvesting of the products of the soil, including, but not by way of limitation, nursery, horticulture, and forestry, and animal husbandry, but excluding sod and/or soil removal.

Antenna. A device used to collect or transmit telecommunications or radio signals including panels, microwave dishes, and single poles, known as "whips."

Apartment. A portion of a building used by an individual or family for living purposes.

Basic structural alteration. Any enlargement of a structure whether by extending on any side or by increasing in height, or the moving of a structure from one location to another.

Building area. The aggregate of the maximum footprints (horizontal cross-section areas), excluding cornices, eaves, and gutters, of all structures on a lot.

Building line. The line parallel to the street right-of-way line at a distance therefrom equal to the depth of the front yard required for the district in which the lot is located. Also known as the building setback line (BSBL).

Building. A structure having enclosed walls and roof which is permanently located on the land and is used for the shelter or enclosure of persons, animals or property.

- (1) **Detached:** A building which has no party wall.
- (2) **Semi-detached:** A building which has only one party wall in common with an adjacent building.
- (3) **Attached (row):** A building which has two party walls in common with adjacent building with the exception of an end unit which has only one common party wall.

Cabaret. A restaurant, cafe, tea room, tavern or bar which also provides, at any time, dancing and/or live entertainment (including but not limited to disc jockeys), except that live background instrumental music, while dining, when such background music is performed by a single musician playing either a piano, organ, violin, or accordion, shall not be considered live entertainment.

Cemetery for humans. A place or ground set apart for the burial of deceased human beings.